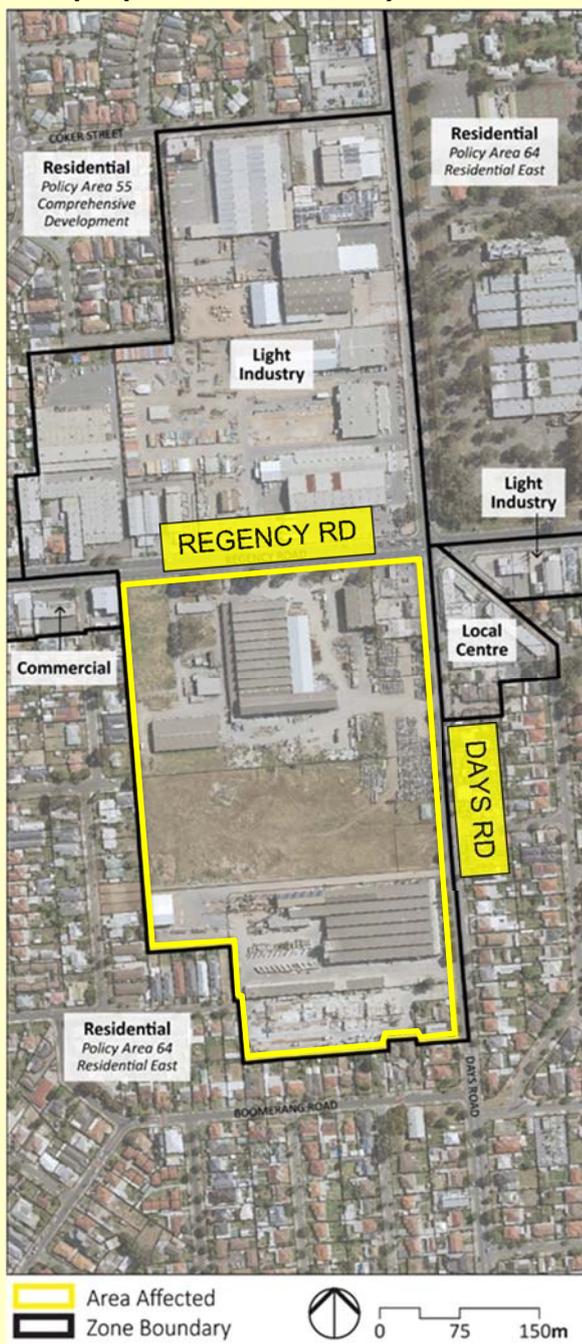




REZONING – CORNER OF DAYS & REGENCY ROADS, CROYDON PARK FOR RESIDENTIAL AND MIXED-USE DEVELOPMENT

The Council is reviewing the Development Plan policies for 13 land parcels that are located west of Days Road, and south of Regency Road at Croydon Park. Council is seeking public feedback on this rezoning proposal in a document called a Development Plan Amendment (DPA). The Area Affected by this proposal is shown in yellow below:



What Changes are Proposed?

- The Area Affected will be rezoned from a Light Industry Zone to a Suburban Neighbourhood Zone. This new zoning will allow for residential, retail, or mixed-use developments in that area.
- The Suburban Neighbourhood Zone envisages all dwelling types, in the range of low to medium density housing, affordable housing, aged persons accommodation, and retirement living.
- The zone envisages a new shopping centre of up to 5,500m² in floor area.
- Other non-residential development is envisaged where it comprises small scale uses that serve the local community.
- Updated maps and development policies will be applied to the Area Affected.

(Please note the above is a summary of the proposed amendments, and the entire DPA should be reviewed before making a written submission.)

The proposal will require authorisation from the state Minister for Planning & Local Government. The authorisation is a decision for the Minister, not the Council.

Planning and Design Code Transition

It is noted that the current State Government planning reforms will involve the transition of the Council Development Plan to the *Planning and Design Code* (the Code) in early 2021.

This DPA has been prepared under the *Development Act 1993* to amend Council's current Development Plan. It is however recognised that any changes which arise from the DPA process would not likely be realised until implementation of the Code. The *Suburban Neighbourhood Zone* as proposed in the DPA will likely be replaced with the *Master-Planned Neighbourhood Zone* under the Code. This transition will support a mix of residential densities supported by a range of accompanying commercial/retail activities at a scale which make the neighbourhood a healthy and convenient place to live. Further information can be found at <https://plan.sa.gov.au/>

Why is the Council undertaking this DPA?

The Area Affected by the DPA contains thirteen (13) allotments within the Light Industry Zone.

Sites within the Area Affected are used for a range of activities including precast concrete manufacturing, building hardware supplies, auto repair and tyre shop, along with residential activities and vacant land.

All sites are considered capable of accommodating new residential development and the owners support future redevelopment as a residential and/or mixed-use area.

The DPA is privately funded. It is subject to a Deed of Agreement such that the Council maintains ultimate control of the DPA and is subject to independent review.

What is a Development Plan?

The Development Plan is the key statutory document in the South Australian planning system that sets out guidelines for development in each council area.

Individual development applications are assessed against the provisions contained within the Development Plan.

What is a Development Plan Amendment?

Subject to an agreement with the Minister for Planning & Local Government, a Council may propose an amendment to the Development Plan affecting its area. This process is legally known as a *Development Plan Amendment* (DPA), or informally as a 'rezoning'.

More information on this process can be found in the *Development Plans and Development Plan Amendments* guide published by the State Government. Visit <https://plan.sa.gov.au> for details.

Public Consultation

The DPA is available for public comment from Thursday 14 January 2021 to Friday March 12 2021.

An electronic copy of the DPA can be downloaded from Council's website at <https://www.cityofpae.sa.gov.au/have-your-say>.

Electronic copies can also be emailed to interested persons on request.

Hard copies are available for inspection at the following locations:

- Port Adelaide Enfield Civic Centre, 163 St Vincent St, Port Adelaide
- Enfield Library - Council Office, 1 Kensington Cr, Enfield
- Greenacres Library - Council Office, 2 Fosters Rd, Greenacres
- Parks Library, 46 Trafford Street, Angle Park
- Port Adelaide Library, 2-4 Church Street, Port Adelaide
- Semaphore Library, 14 Semaphore Road, Semaphore

Hard copies can also be purchased at the Civic Centre for \$26.00.

Written Submissions

If you would like to comment on this proposal, submissions can be posted or emailed to:

Chief Executive Officer
City of Port Adelaide Enfield
PO BOX 110
PORT ADELAIDE SA 5015

or

consultation@cityofpae.sa.gov.au
(include 'Corner Days & Regency Roads, Croydon Park DPA' in the subject header)

Submissions must be received by Council no later than 12 March 2021.

Submissions must indicate if the writer (or a representative) wishes to be heard at the public meeting.

By law, all submissions are treated as public documents and will be uploaded to Council's website for public inspection.

Public Meeting

A public meeting is scheduled for Tuesday 23 March 2021 (starting 7 pm) at the Parks Library, 46 Trafford Street, Angle Park. If social distancing laws disallow the holding of a physical meeting, it will be held electronically instead. Please note the meeting will be cancelled if no written submission wishes to be heard at the public meeting.

For Further Information

Call Michael at the City of Port Adelaide Enfield on 8405 6002.